

1. NOISE DIRECTION
2. MELBOURNE CBD - 10.4kms
3. SCHOOL 1.5k
4. PUBLIC TRANSPORT 270m
5. ROBERT BARRET RESERVE 800m
6. SHOPS 800m
7. ADJOINING B/V RESIDENCE
8. ADJOINING W/B RESIDENCE
9. ADJOINING RENDERED B/V
10. VACANT LAND
S. SINGLE STOREY
D. DOUBLE STOREY
T. TRIPPLE STOREY
V VERANDAH
PER PERGOLA
SH SHED
G GARAGE
CP CAR PORT
CS CAR SPACE
P.F : PAILING FENCE
SF : STEEL FENCE
BF : BRICK FENCE
CF : CYCLONE FENCE
NF : NO FENCE
TF : TIMBER FENCE
FF : FOLIAGE FENCE
> EXISTING VEHICLE CROSSING
5.25m SET BACK
P.O.S - private open space
(HW) HABITABLE WINDOWS
(NHW) NON HABITABLE WINDOWS
P.P POWER POLE
EXISTING TREES



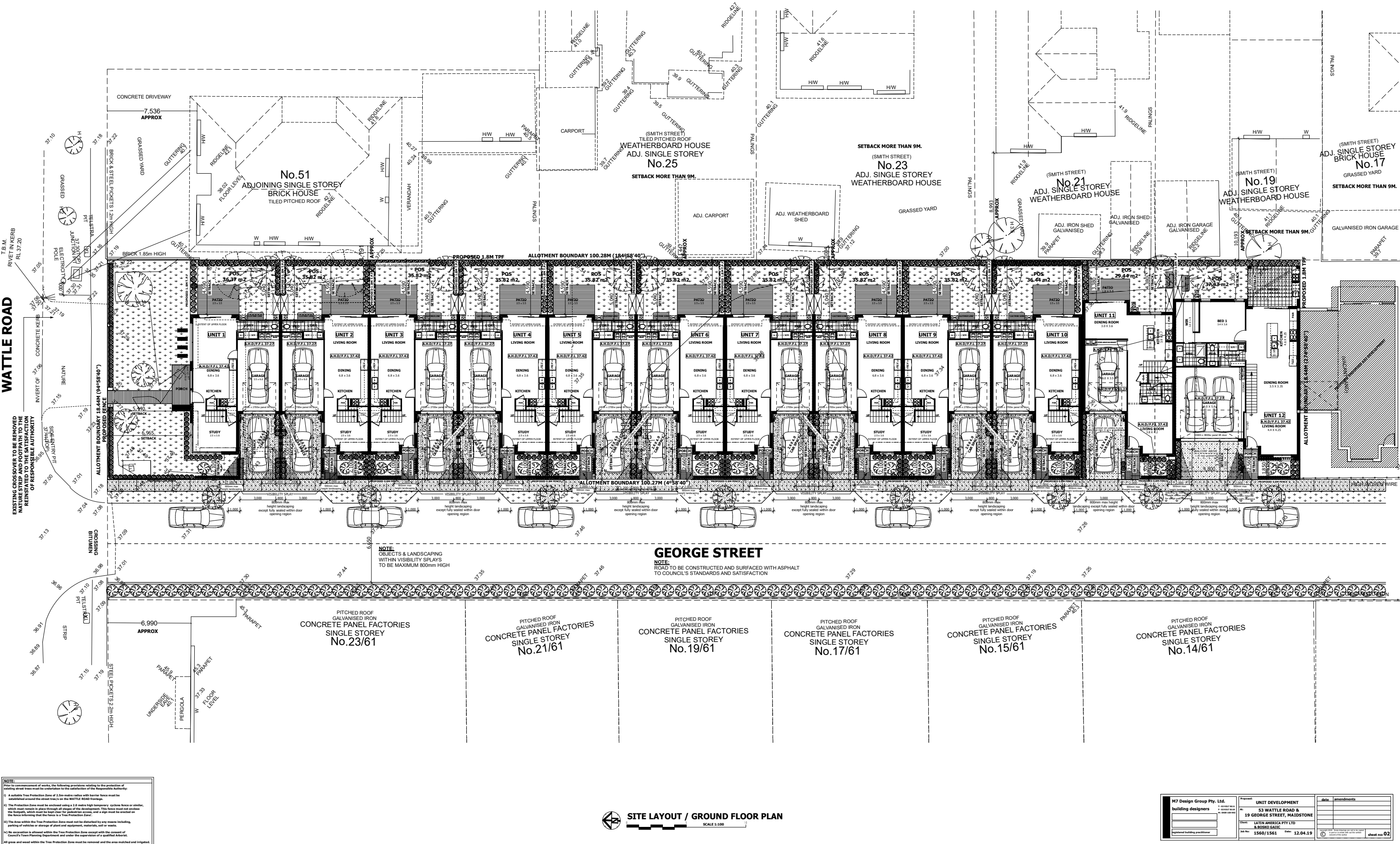
All grass and weed within the Tree Protection Zone must be removed and the area mulched and irrigated.

1. NOISE DIRECTION
2. MELBOURNE CBD - 10.4kms
3. SCHOOL 1.5k
4. PUBLIC TRANSPORT 270m
5. ROBERT BARRET RESERVE 800m
6. SHOPS 800m
7. ADJOINING B/V RESIDENCE
8. ADJOINING W/B RESIDENCE
9. ADJOINING RENDERED B/V
10. VACANT LAND
S. SINGLE STOREY
D. DOUBLE STOREY
T. TRIPPLE STOREY
V VERANDAH
PER PERGOLA
SH SHED
G GARAGE
CP CAR PORT
CS CAR SPACE
P.F : PAILING FENCE
SF : STEEL FENCE
BF : BRICK FENCE
CF : CYCLONE FENCE
NF : NO FENCE
TF : TIMBER FENCE
FF : FOLIAGE FENCE
> EXISTING VEHICLE CROSSING
5.25m SET BACK
P.O.S - private open space
(HW) HABITABLE WINDOWS
(NHW) NON HABITABLE WINDOWS
P.P POWER POLE
EXISTING TREES



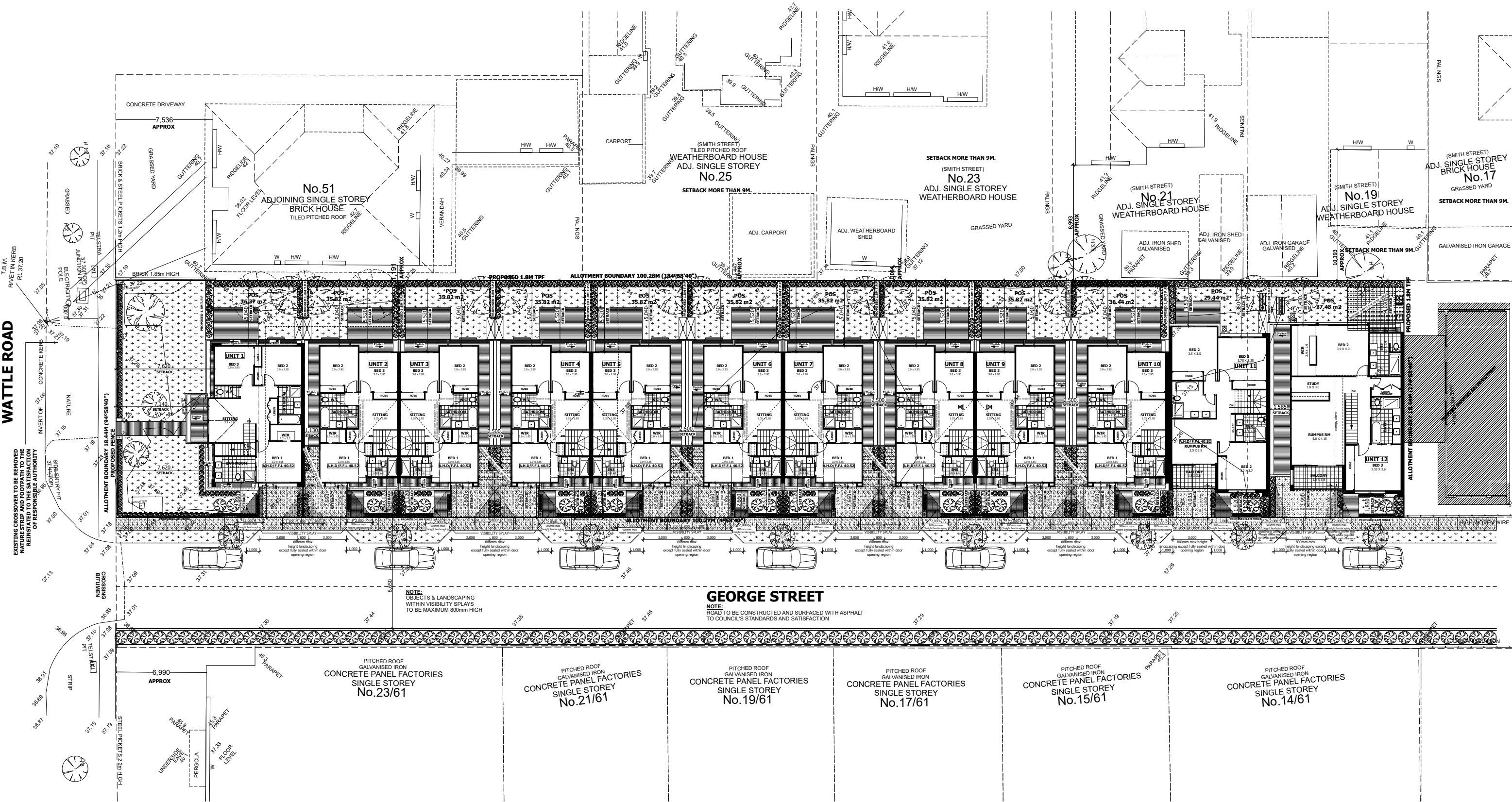
M7 Design Group Pty Ltd.	Prepared:	UNIT DEVELOPMENT	date	amendments
building designers	T: 09 837 8611 F: 09 837 8610 E: MDS@M7.CO.NZ	NZ 53 WATTLE ROAD & 19 GEORGE STREET, MAIDSTONE		
		Client:	LATIN AMERICA PTY LTD	
			& BOSKO GROUP	
registered building practitioner	Job No:	1560/1561	Date:	12.04.19
	copyright 2018. This document may not be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system without permission in writing from the copyright owner.			sheet no: 01

AREA ANALYSIS						AREA ANALYSIS					
UNIT 1		UNIT 2 - 9		UNIT 10		UNIT 11		UNIT 12		TOTAL	
AREA:	52.24m ²	AREA:	50.12m ²	AREA:	51.82m ²	AREA:	61.03m ²	AREA:	92.75m ²	TOTAL: 1952.66m ²	
ground floor:	52.24m ²	ground floor:	50.12m ²	ground floor:	51.82m ²	ground floor:	61.03m ²	ground floor:	92.75m ²	TOTAL: 210.21sq.	
garage:	23.68m ²	garage:	23.68m ²	garage:	23.68m ²	garage:	23.30m ²	garage:	36.76m ²		
porch:	5.59m ²	porch:	1.14m ²	porch:	1.14m ²	porch:	1.14m ²	porch:	0.88m ²		
patio:	8.75m ²	patio:	8.75m ²	patio:	8.75m ²	patio:	8.75m ²	patio:	8.75m ²		
upper floor:	78.13m ²	upper floor:	64.37m ²	upper floor:	65.86m ²	upper floor:	91.19m ²	upper floor:	106.32m ²		
TOTAL:	168.72m ²	TOTAL:	148.06m ²	TOTAL:	151.25m ²	TOTAL:	189.41m ²	TOTAL:	258.80m ²		
168.72m ²	18.16sq.	148.06m ²	15.94sq.	151.25m ²	16.28sq.	189.41m ²	20.40sq.	258.80m ²	27.85sq.		



NOTE:
Prior to commencement of works, the following provisions relating to the protection of existing trees must be undertaken to the satisfaction of the Responsible Authority:
(1) A suitable Tree Protection Zone of 2.5m radius with barrier fence must be established around the street tree(s) on the WATTLE ROAD frontage.
(2) The Protection Zone must be enclosed using a 2.0 metre high temporary cyclone fence or similar, which must remain in place through all stages of the development. This fence must not enclose the footpath, which must be kept clear for pedestrian access, and a sign must be erected on the fence informing that the fence is a Tree Protection Zone.
(3) The area within the Tree Protection Zone must not be disturbed by any means including parking of vehicles or storage of plant and equipment, materials, and/or waste.
(4) No excavation is allowed within the Tree Protection Zone except with the consent of Council's Tree Planning Department and under the supervision of a qualified Arborist.
All grass and weed within the Tree Protection Zone must be removed and the area mulched and irrigated.

AREA ANALYSIS						AREA ANALYSIS					
UNIT 1		UNIT 2 - 9		UNIT 10		UNIT 11		UNIT 12		TOTAL	
AREA:		AREA:		AREA:		AREA:		AREA:		TOTAL:	
ground floor:		ground floor:		ground floor:		ground floor:		ground floor:		TOTAL:	
garage:		garage:		garage:		garage:		garage:		TOTAL:	
porch:		porch:		porch:		porch:		porch:		TOTAL:	
patio:		patio:		patio:		patio:		patio:		TOTAL:	
upper floor:		upper floor:		upper floor:		upper floor:		upper floor:		TOTAL:	
TOTAL:		TOTAL:		TOTAL:		TOTAL:		TOTAL:		TOTAL:	

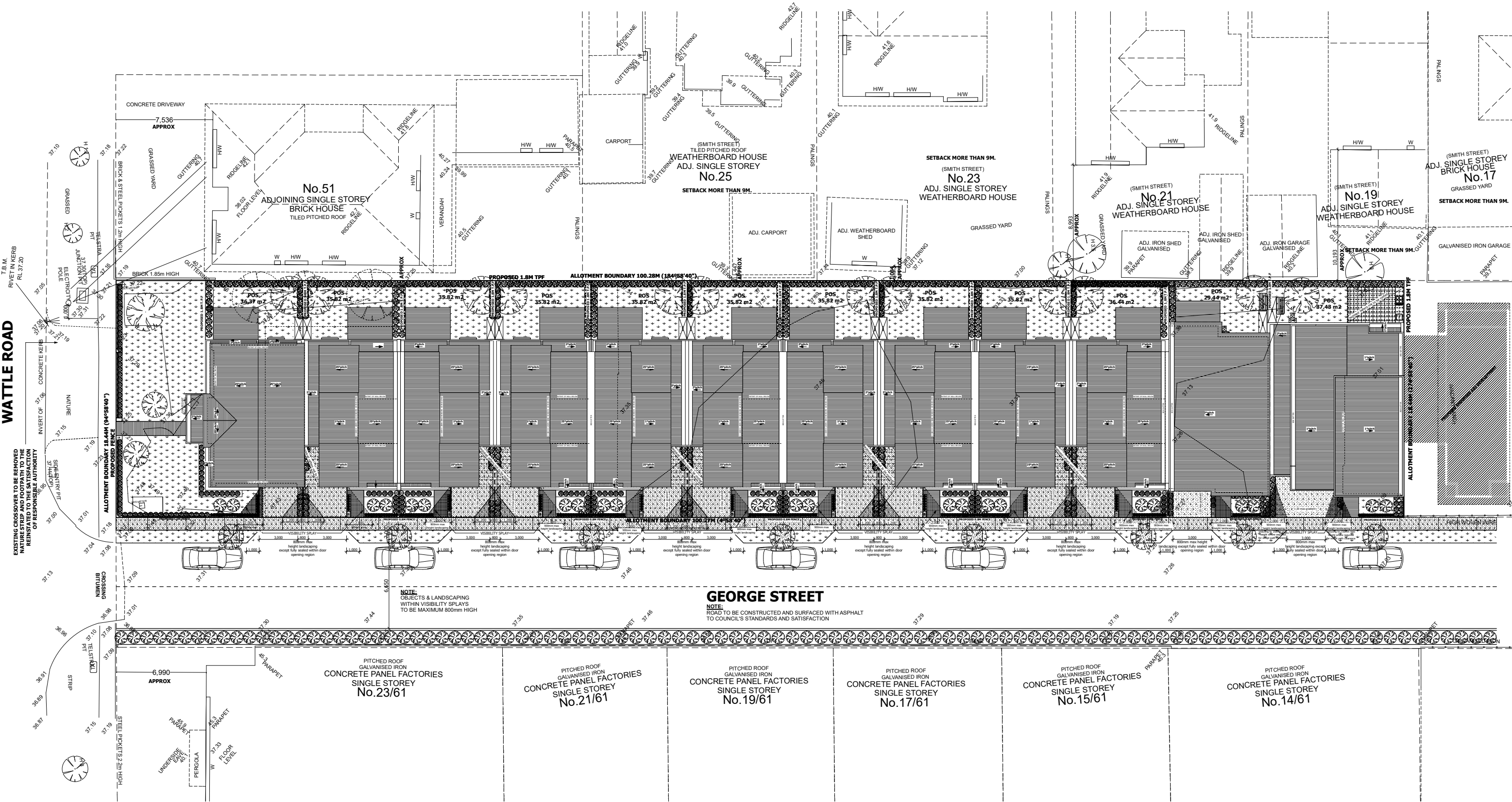


NOTE:
Prior to commencement of works, the following provisions relating to the protection of existing trees must be undertaken to the satisfaction of the Responsible Authority:
(1) A suitable Tree Protection Zone of 2.5m-metre radius with barrier fence must be established around the most trees to be retained on the site.
(2) The Protection Zone must be enclosed using a 1.8 metre high temporary cyclone fence or similar, which must remain in place through all stages of the development. This fence must not enclose the footpath, which must be kept clear for pedestrian access, and a sign must be erected on the fence indicating that the fence is a Tree Protection Zone.
(3) No excavation is allowed within the Tree Protection Zone except with the consent of Council's Tree Planning Department and under the supervision of a qualified Arborist.
All grass and weed within the Tree Protection Zone must be removed and the area mulched and irrigated.

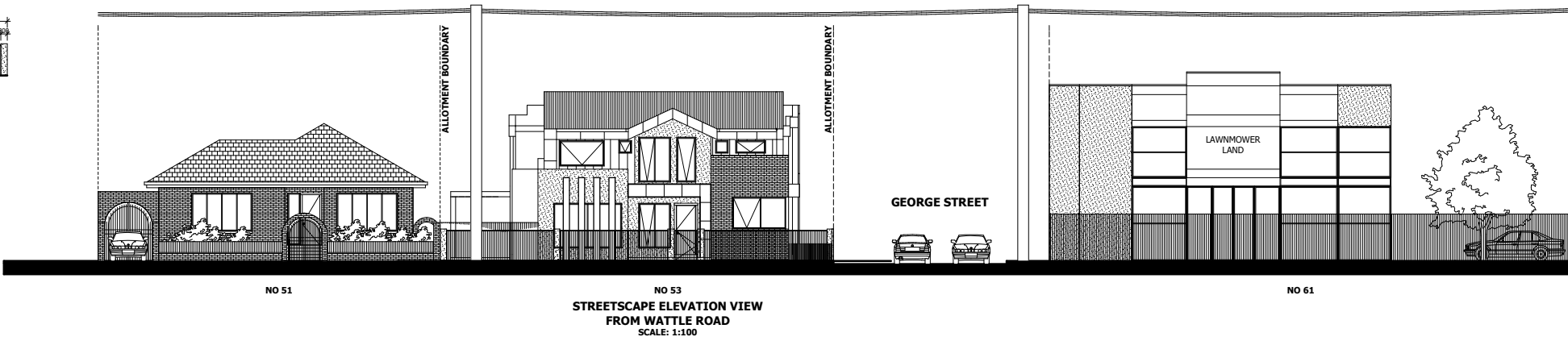
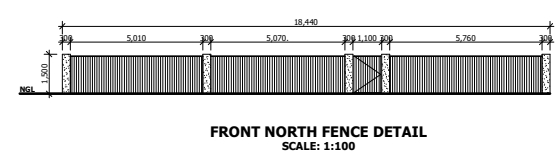
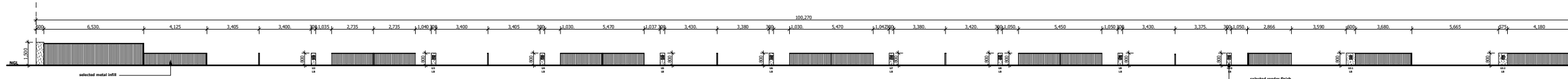
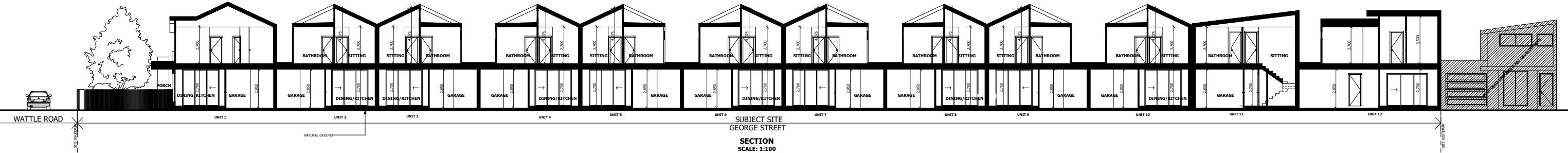
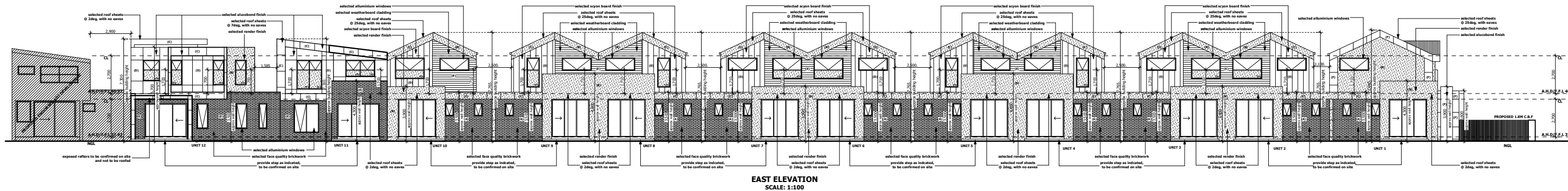
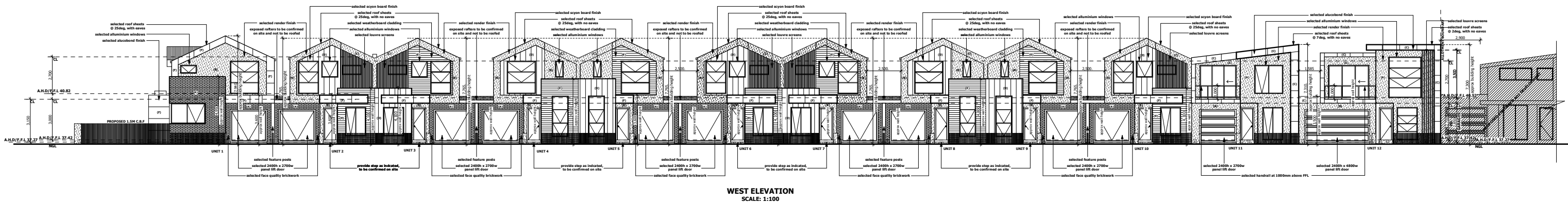
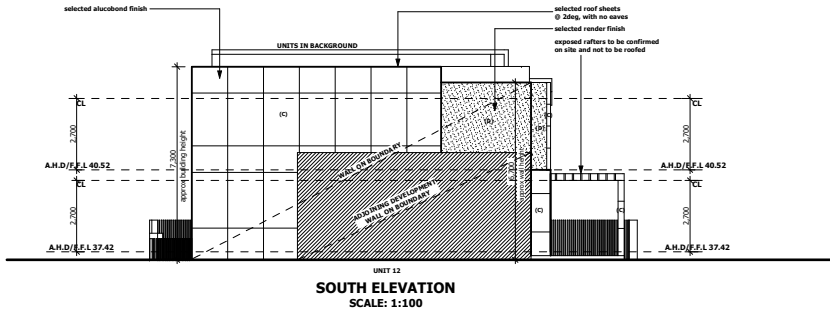
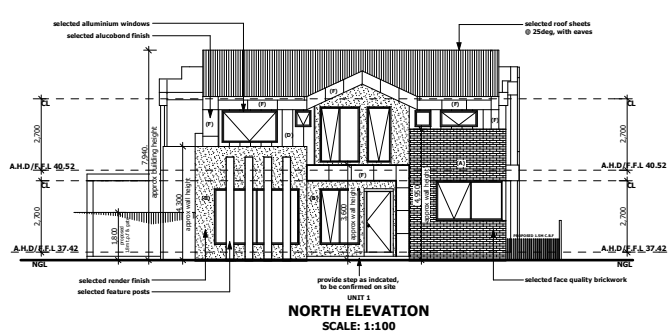
LEDGEND	
[Symbol]	LETTER BOX
[Symbol]	HOT WATER SERVICE
[Symbol]	RECYCLE BIN
[Symbol]	RUBBER BIN
[Symbol]	RECYCLE BIN
[Symbol]	HABITAT WINDOW
[Symbol]	NON HABITAT WINDOW
[Symbol]	GAS METER
[Symbol]	CLOTHES LINE
[Symbol]	RAIN WATER TANK
[Symbol]	AIRCONDITION / HEATING UNIT
[Symbol]	SOLAR PANELS
NOTE: This drawing has been designed to comply with the relevant standards and codes of practice for the construction of buildings and infrastructure. It is the responsibility of the client to ensure that the design is suitable for the intended use and that all relevant approvals are obtained before construction commences.	

M7 Design Group Pty. Ltd. building designers		UNIT DEVELOPMENT 53 WATTLE ROAD & 19 GEORGE STREET, MAIDSTONE		date: 12.04.19	
Client: LATIN AMERICA PTY LTD & BORIS GARCIA		Job No: 1560/1561		sheet no: 03	
Registered building practitioner		Project manager		Author	

AREA ANALYSIS						AREA ANALYSIS					
UNIT 1		UNIT 2 - 9		UNIT 10		UNIT 11		UNIT 12		UNIT 13	
AREA:		AREA:		AREA:		AREA:		AREA:		AREA:	
ground floor:		ground floor:		ground floor:		ground floor:		ground floor:		ground floor:	
garage:		garage:		garage:		garage:		garage:		garage:	
porch:		porch:		porch:		porch:		porch:		porch:	
upper floor:		upper floor:		upper floor:		upper floor:		upper floor:		upper floor:	
TOTAL:		TOTAL:		TOTAL:		TOTAL:		TOTAL:		TOTAL:	
52.24m ²		50.12m ²		51.82m ²		61.03m ²		92.75m ²		92.75m ²	
23.68m ²		23.68m ²		23.68m ²		23.30m ²		36.76m ²		36.76m ²	
5.52m ²		5.52m ²		5.52m ²		5.52m ²		0.88m ²		0.88m ²	
8.75m ²		8.75m ²		8.75m ²		8.75m ²		14.75m ²		14.75m ²	
76.13m ²		64.37m ²		65.86m ²		81.19m ²		106.32m ²		106.32m ²	
168.72m ²		148.06m ²		151.25m ²		189.41m ²		258.80m ²		258.80m ²	
5.62sq		5.62sq		5.62sq		5.62sq		5.62sq		5.62sq	
2.55sq		2.55sq		2.55sq		2.55sq		2.55sq		2.55sq	
0.94sq		0.94sq		0.94sq		0.94sq		0.94sq		0.94sq	
0.94sq		0.94sq		0.94sq		0.94sq		0.94sq		0.94sq	
18.16sq		15.94sq		16.28sq		20.40sq		27.85sq		27.85sq	
1184.48m ²		1184.48m ²		1184.48m ²		1184.48m ²		1184.48m ²		1184.48m ²	
127.52sq		127.52sq		127.52sq		127.52sq		127.52sq		127.52sq	



NOTE:
Prior to commencement of works, the following provisions relating to the protection of existing trees must be undertaken to the satisfaction of the Responsible Authority:
(1) A suitable Tree Protection Zone of 2.5m radius with barrier fence must be established around the root tree(s) on the WATTLE ROAD frontage.
(2) The Protection Zone must be enclosed using a 1.8 metre high temporary cyclone fence or similar, which must remain in place through all stages of the development. This fence must not enclose the footpath, which must be kept clear for pedestrian access, and a sign must be erected on the fence informing that the fence is a Tree Protection Zone.
(3) No excavation is allowed within the Tree Protection Zone except with the consent of Council's Tree Planning Department and under the supervision of a qualified Arborist.
All grass and weed within the Tree Protection Zone must be removed and the area mulched and irrigated.

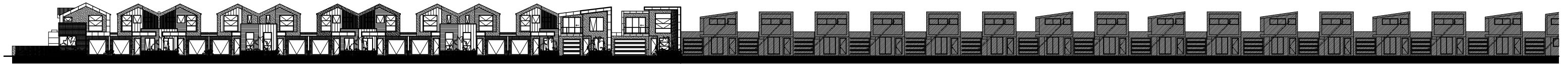


UNITS 11-12	
MATERIALS SCHEDULE	
ITEM	COLOURS
WALLS	(A) Window white (darker)
EXTERNAL SURFACE	(B) Window white (darker)
WINDOWS / DOORS	(C) Window white (darker)
PANEL LIFT DOOR	(D) Window white (darker)
CLIPPING	(E) Window white (darker)
BATH WATER TANK	(F) Window white (darker)
CONCRETE DRIVEWAY	(G) Window white (darker)

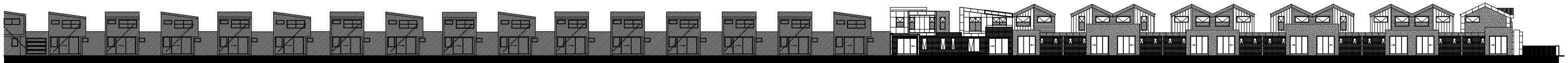
UNITS 1-10	
MATERIALS SCHEDULE	
ITEM	COLOURS
WALLS	(A) Window white (darker)
EXTERNAL SURFACE	(B) Window white (darker)
WINDOWS / DOORS	(C) Window white (darker)
PANEL LIFT DOOR	(D) Window white (darker)
CLIPPING	(E) Window white (darker)
BATH WATER TANK	(F) Window white (darker)
CONCRETE DRIVEWAY	(G) Window white (darker)

OBS - DENOTES, OBSCURED WINDOW

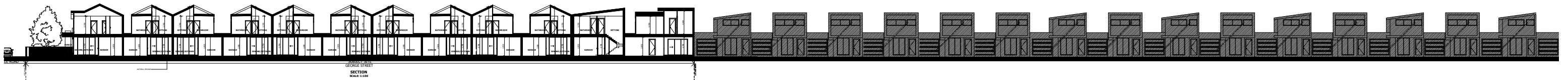
M7 Design Group Pty. Ltd. building designers	UNIT DEVELOPMENT 53 WATTLE ROAD & 19 GEORGE STREET, MILDSTONE	date 12.04.19	amendments
client LATIN AMERICA PTY LTD A. BORDO GARCIA	job no 1560/1561	sheet no 05	



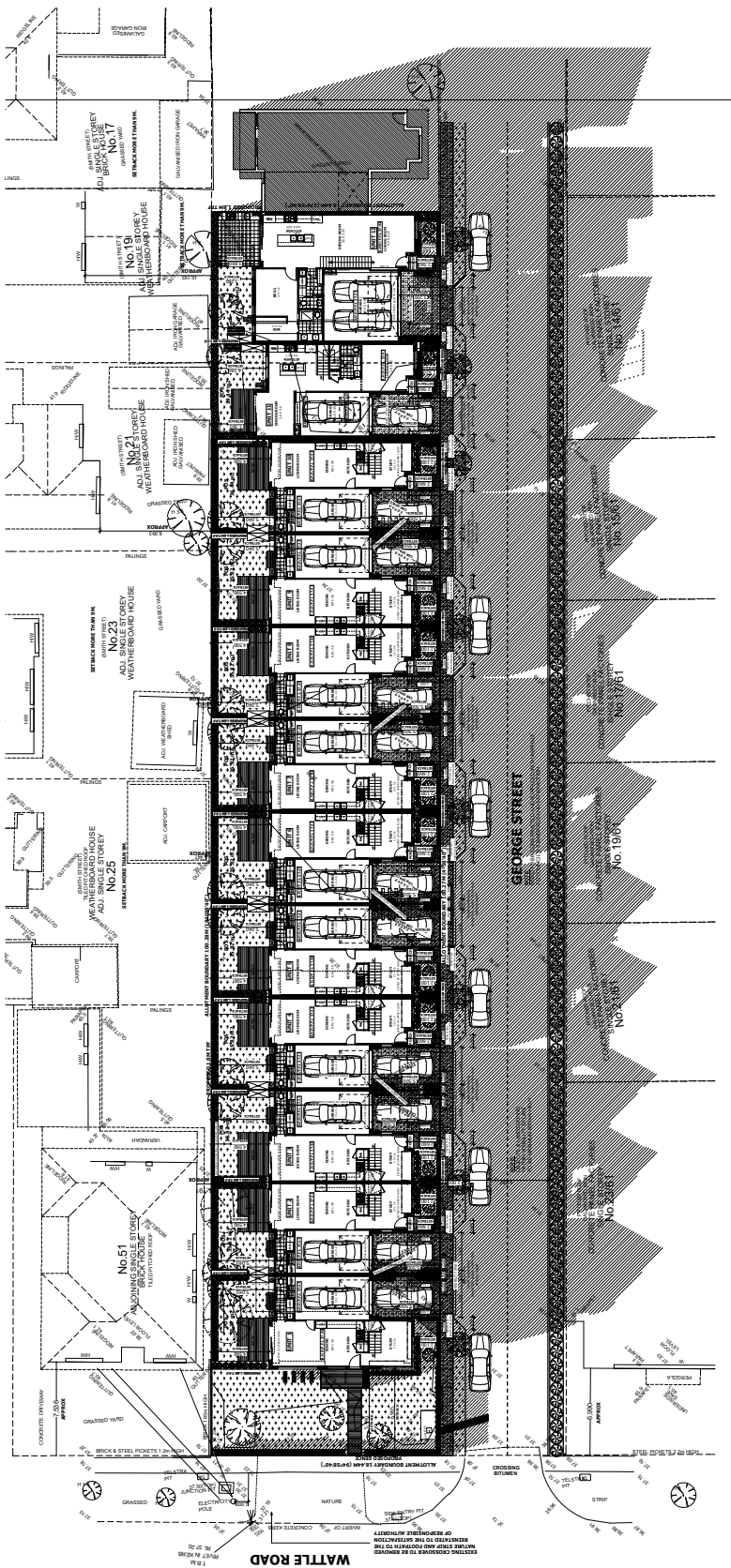
STREETSCAPE ELEVATION VIEW
FROM GEORGE ROAD
SCALE: 1:200



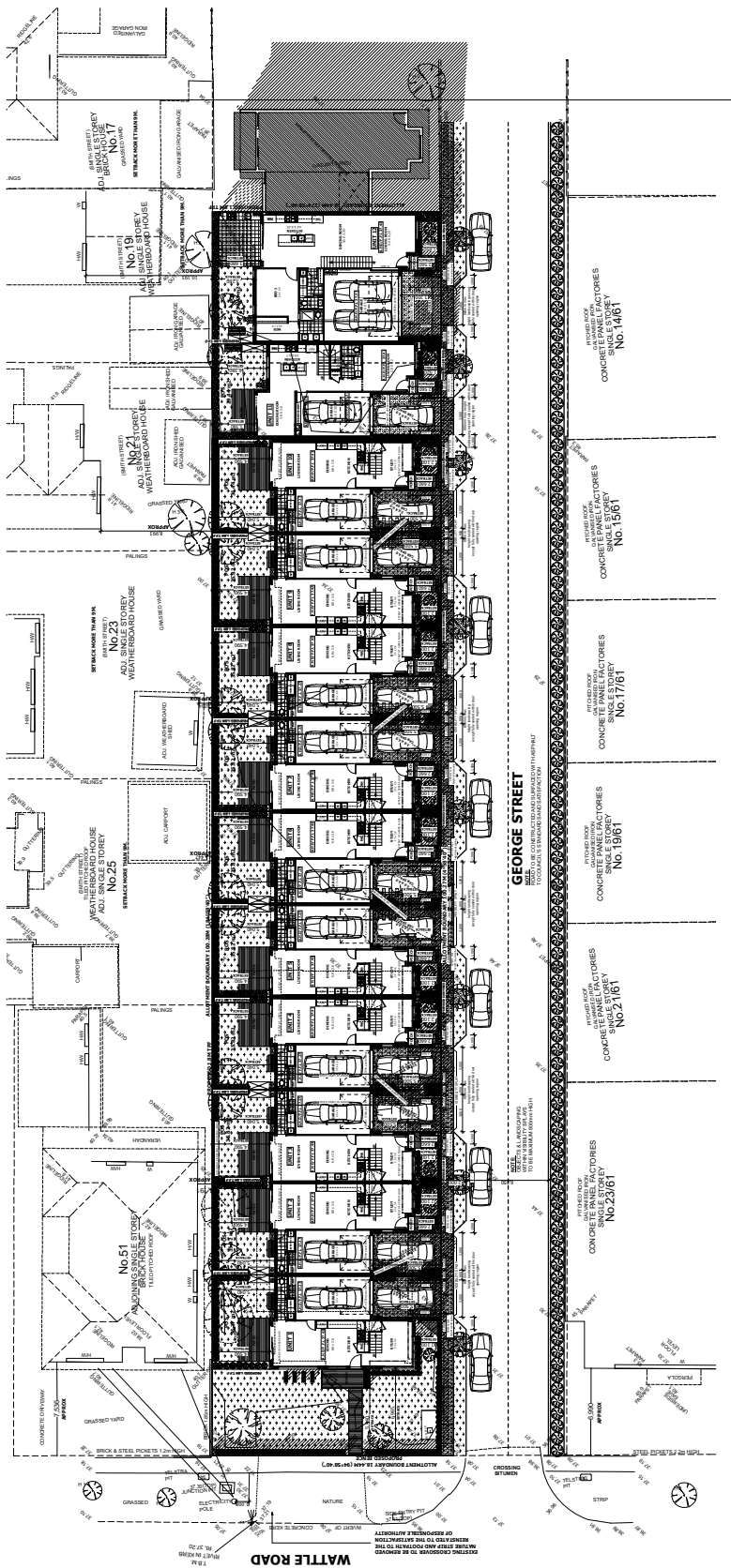
STREETSCAPE ELEVATION VIEW
FROM GEORGE ROAD REAR
SCALE: 1:200



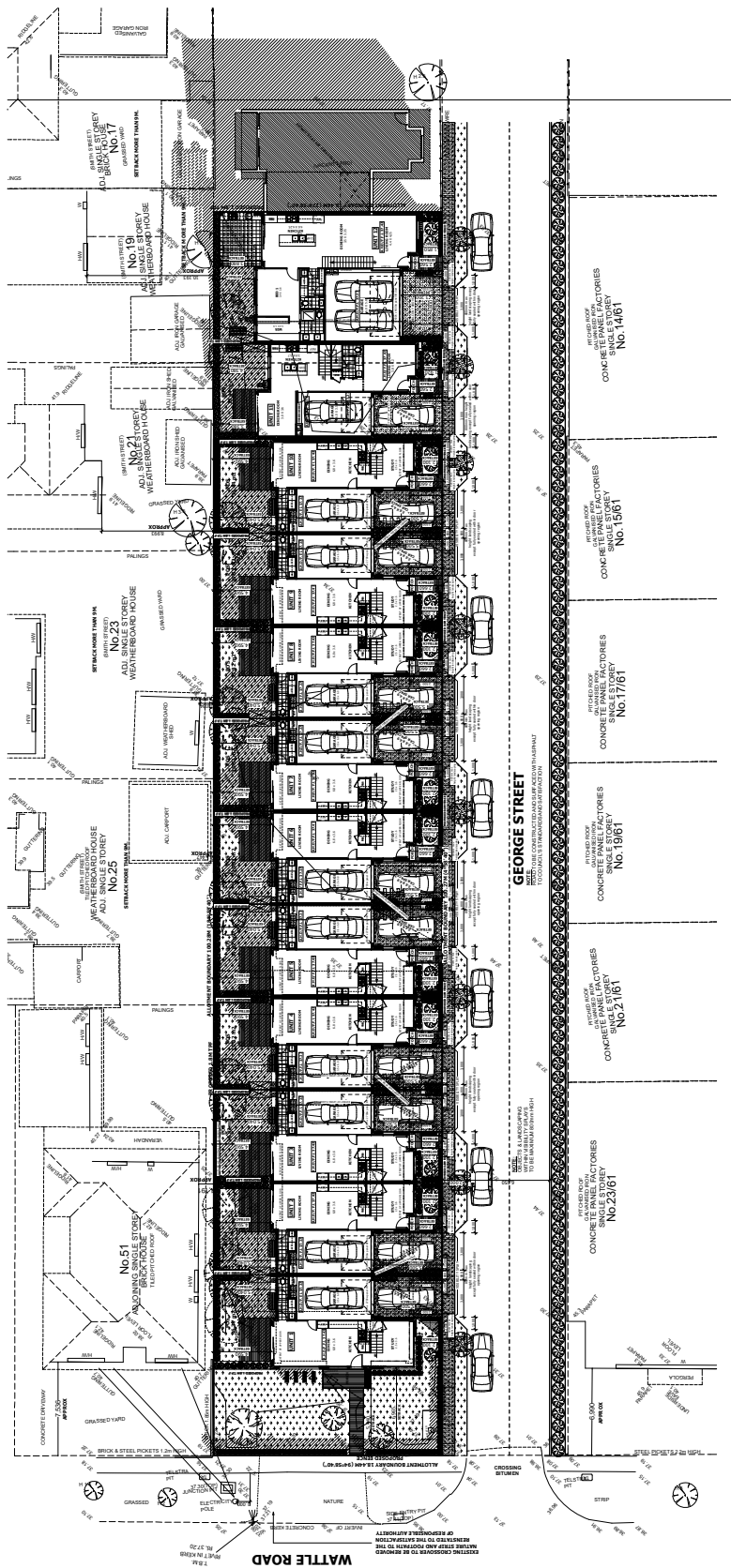
SECTION ELEVATION VIEW
FROM GEORGE ROAD
SCALE: 1:200



SUN SHADE DIAGRAM :
SEPTEMBER 22 - 9AM
SCALE: 1:200



SUN SHADE DIAGRAM :
SEPTEMBER 22 - 12PM
SCALE: 1:200



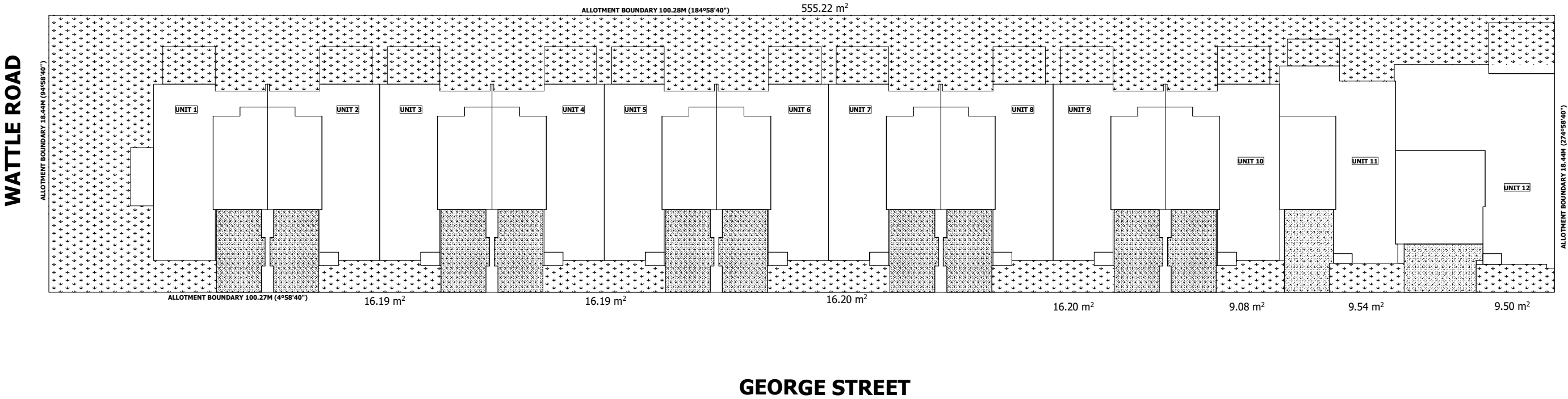
SUN SHADE DIAGRAM :
SEPTEMBER 22 - 3PM
SCALE: 1:200

NOTE: SITE IS FLAT
NOTE: ADJACENT P.O.S TO BE PROTECTED FROM FALLING TREES
NOTE: MATERIALS, COLOURS AND TEXTURES ARE SELECTED TO HIGHLIGHT THE ARCHITECTURAL FORMS AND REFLECT THE ADJACENT DWELLINGS
NOTE: BRIDGE UP LARGE FORMS WITH APPROPRIATE DIMENSIONS IN PLAN AND ELEVATION, TO MAINTAIN A SCALE RELEVANT TO THE ADJACENT BUILDINGS.

AREA ANALYSIS	
SITE AREA:	1,849.07m ²
BUILT UP AREA:	973.51m ²
INCLUDING OHANG:(109.35m ²)	1082.86m ²
CONCRETE AREA:(116.45m ²)	1199.31m ²
SITE COVERAGE:	58.56%
PERMIBILITY:	35.14%
GARDEN AREA 35% OF SITE AREA = 647.1745 m ²	
PROPOSED GARDEN AREA=	(648.12m ²) 35.05%
TOTAL:	1952.66m ² 210.21sq.

LEGEND	
	GARDEN AREA
	CONCRETE AREA

NOTE: This drawing has been designed in accordance with the requirements of the Building Act 2004 and the Building Regulations 2006. It is a preliminary drawing and should not be used for construction purposes or for any other purpose without the written consent of the designer. The designer shall not be responsible for any errors or omissions in this drawing.



NOTE: Prior to commencement of works, the following provisions relating to the protection of existing street trees must be undertaken to the satisfaction of the Responsible Authority: 1) A suitable Tree Protection Zone of 2.5m radius with barrier fence must be established around the street tree/s on the WATTLE ROAD frontage. 2) The Protection Zone must be enclosed using a 2.0 metre high temporary cyclone fence or similar, which must remain in place through all stages of the development. This fence must not enclose the footpath, which must be kept clear for pedestrian access, and a sign must be erected on the fence informing that the fence is a Tree Protection Zone. 3) The area within the Tree Protection Zone must not be disturbed by any means including parking of vehicles or storage of plant and equipment, materials, soil or waste. 4) No vegetation is allowed within the Tree Protection Zone except with the consent of Council's Trees Planning Department and under the supervision of a qualified Arborist. All grass and weed within the Tree Protection Zone must be removed and the area mulched and irrigated.
